

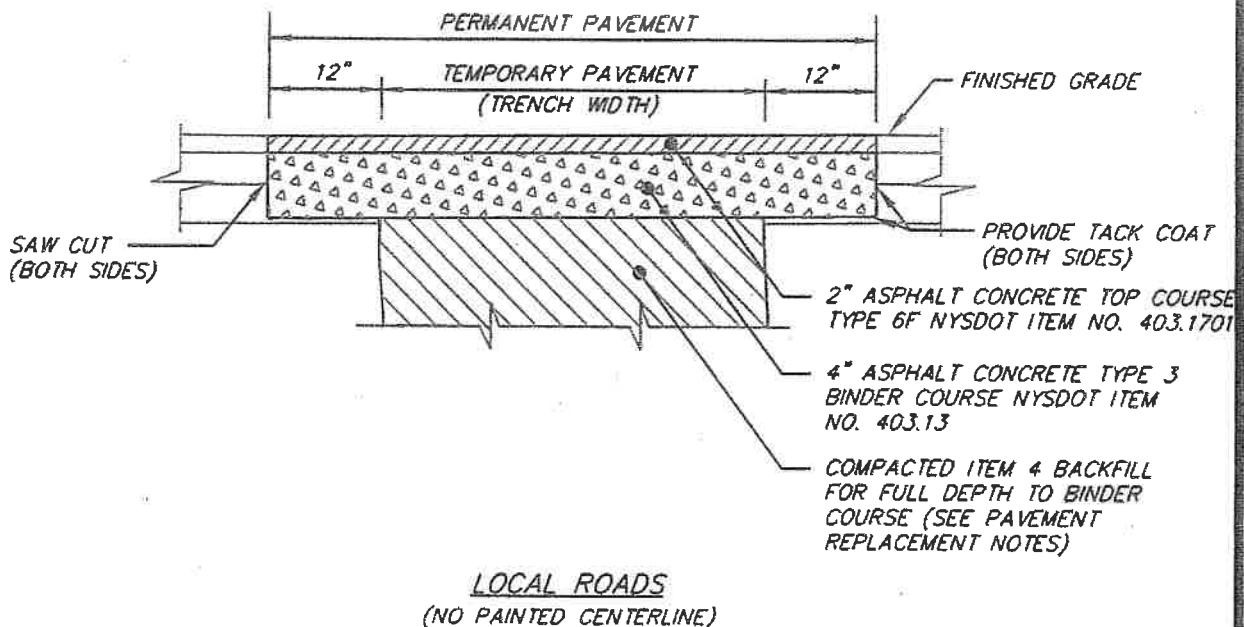
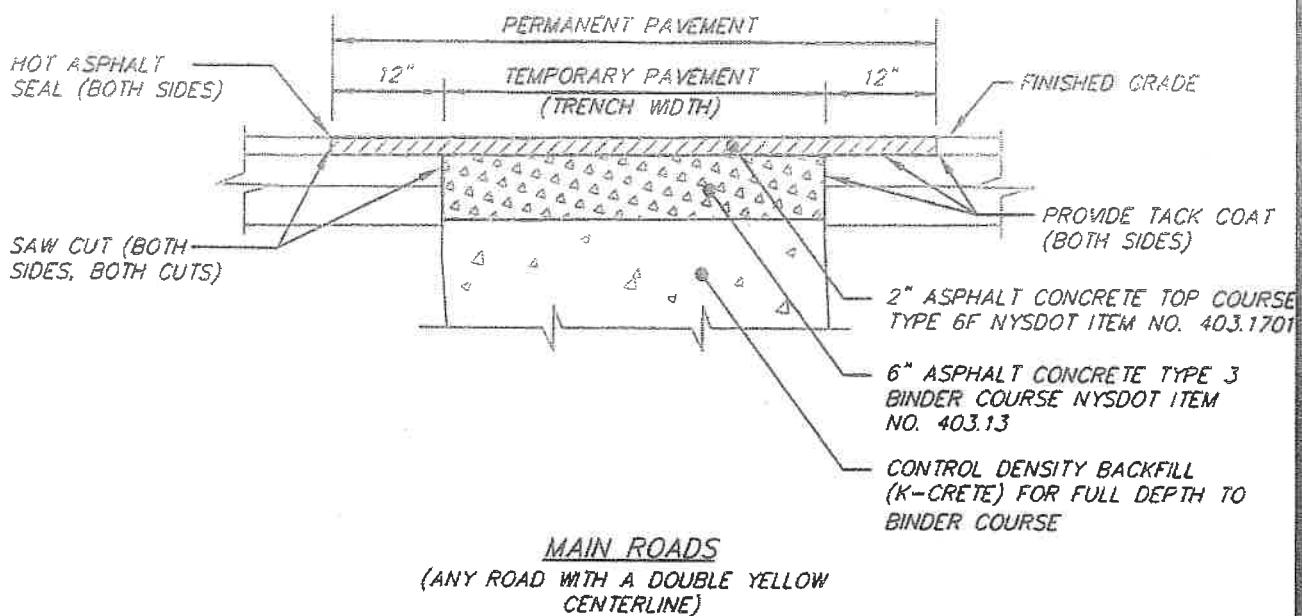
# Village of Briarcliff Manor



## Department of Public Works

### Standard Construction Details

- **Roadway Trench Restoration**
- **Asphalt Driveway Apron**
- **Concrete Driveway Apron**
- **Driveway Sight Distance**
- **Driveway Belgium Block Disclaimer**
- **Concrete Curb**
- **Concrete Sidewalk**
- **Concrete Handicapped Ramp**
- **Construction Entance**
- **Sanitary Sewer Connection**



# PAVEMENT REPLACEMENT NOTES

## TEMPORARY PAVEMENT:

- 1) A MINIMUM OF 2" ASPHALT MATERIAL SHALL BE PLACED IMMEDIATELY AFTER BACKFILLING ALL TRENCHES.
- 2) IN WINTER MONTHS, THE CONTRACTOR WILL BE REQUIRED TO INSTALL A TEMPORARY 4" CONCRETE PLUG UNTIL SUCH TIME THAT PERMANENT RESTORATION CAN OCCUR ON LOCAL ROADS.
- 3) THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN ALL TEMPORARY PATCHES UNTIL PERMANENT RESTORATION IS COMPLETED.

## BACKFILL:

### MAIN ROADS (DOUBLE YELLOW LINE)

MUST USE CONTROL DENSITY BACKFILL (K-CRETE). PERMANENT PAVEMENT RESTORATION CAN TAKE PLACE IMMEDIATELY FOLLOWING THE CURING OF K-CRETE.

### LOCAL ROADS (NO PAINTED CENTER LINE)

CAN USE ITEM #4 BACKFILL. NO PERMANENT RESTORATION CAN TAKE PLACE UNTIL 30 DAYS HAVE ELAPSED TO ALLOW FOR COMPACTION.

## RESTORATION:

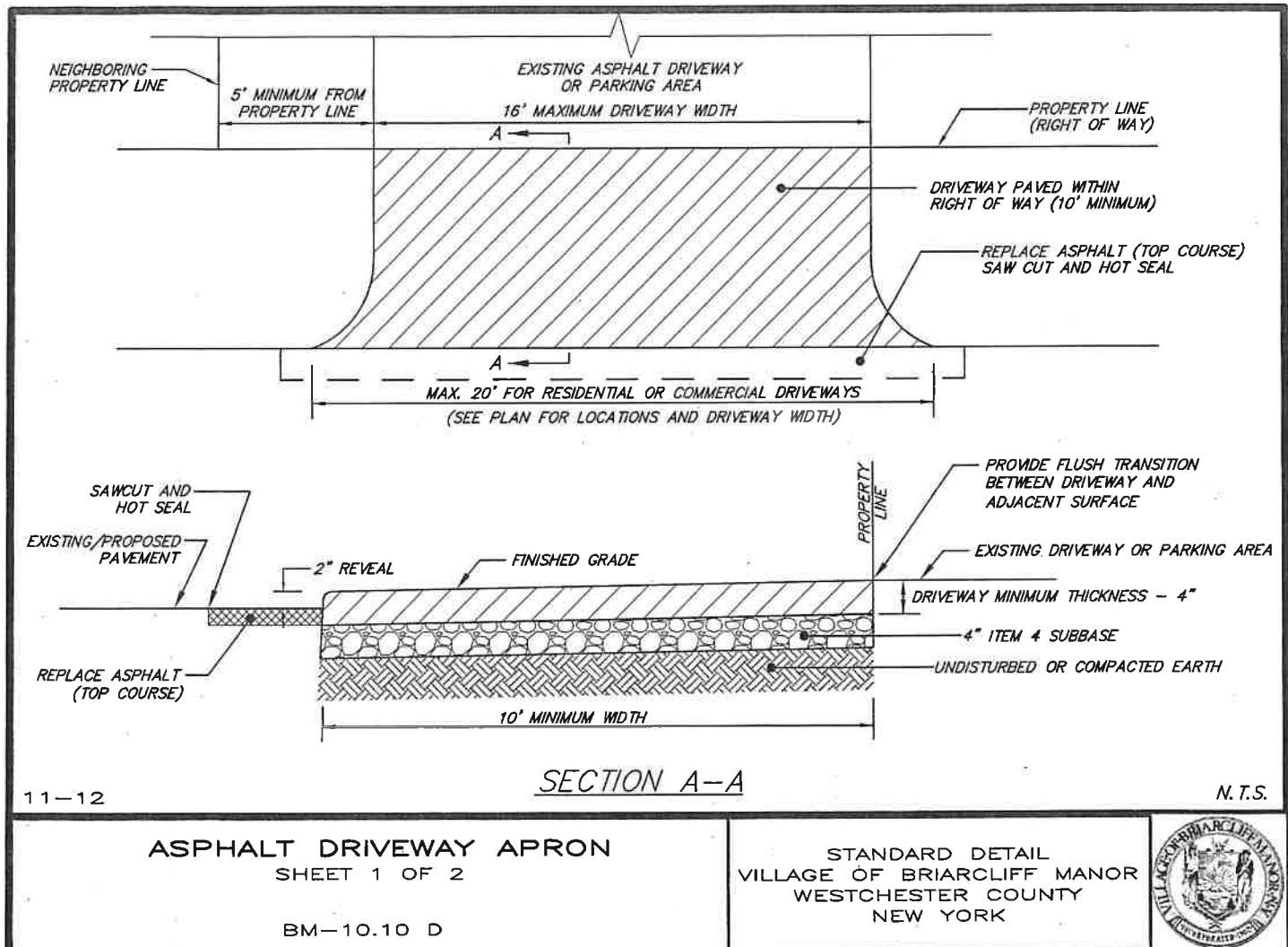
### MAIN ROADS (DOUBLE YELLOW LINE)

- 1) USE CONTROL DENSITY BACKFILL (K-CRETE) TO BACKFILL TRENCHES UP TO BINDER COURSE.
- 2) PROVIDE 6 INCHES OF NYSDOT ITEM NO. 403.13 BINDER COURSE ASPHALT.
- 3) TOP COURSE OF ASPHALT SHALL BE SAW CUT 12" WIDER THAN TRENCH WIDTH (OVERCUT). BINDER COURSE SHALL BE SAW CUT TO TRENCH WIDTH.
- 4) PROVIDE 2 INCHES OF NYSDOT ITEM NO. 403.1701 TOP COURSE ASPHALT.
- 5) PROVIDE TACK COAT ON ALL SAW CUT FACES AND BENEATH TOP COURSE OVERCUT.
- 6) PROVIDE HOT ASPHALT SEAL ON TOP COURSE OF ASPHALT AT SAWCUT JOINT.

### LOCAL ROADS (NO PAINTED CENTERLINE)

- 1) USE ITEM 4 TO BACKFILL TRENCHES UP TO BINDER COURSE.
- 2) ALLOW 30 DAYS FOR BACKFILL TO COMPACT WITH TEMPORARY PAVEMENT PRIOR TO PLACING
- 3) PERMANENT ASPHALT
- 4) PROVIDE 4 INCHES OF NYSDOT ITEM NO. 403.13 BINDER COURSE ASPHALT.
- 5) ASPHALT SHALL BE SAW CUT 12" WIDER THAN TRENCH WIDTH (OVERCUT).
- 6) PROVIDE TACK COAT ON ALL SAW CUT FACES.
- 7) PROVIDE 2 INCHES OF NYSDOT ITEM NO. 403.1701 TOP COURSE ASPHALT.
- 8) PROVIDE HOT ASPHALT SEAL ON TOP COURSE OF ASPHALT AT SAWCUT JOINT.





# Driveway Apron Notes

## **1. General Requirements**

- Maximum grade for a driveway should not exceed 6% within the Village right-of-way (R.O.W.).
- Maximum width of driveways is 16 feet at property line and 20 feet at road edge to accommodate driveway returns.
- Driveway apron must be paved within the R.O.W. (10 feet minimum).
- Belgium Block/Paver aprons are allowed, but will be the responsibility of the home owner to maintain in perpetuity (See Attached Disclaimer).
- The driveway must be designed in a fashion whereas there will be no adverse drainage or runoff problems.
- Driveway site distance must be adequate as per AASHTO standards (See Attached Form).
- Driveway must not be closer than 5 feet from neighboring property line.
- Any driveway curbing is required to taper to flush with the road surface.
- Only one (1) driveway opening is permitted. Circular driveways are only permitted in instances where they improve the sight distance exiting the driveway.

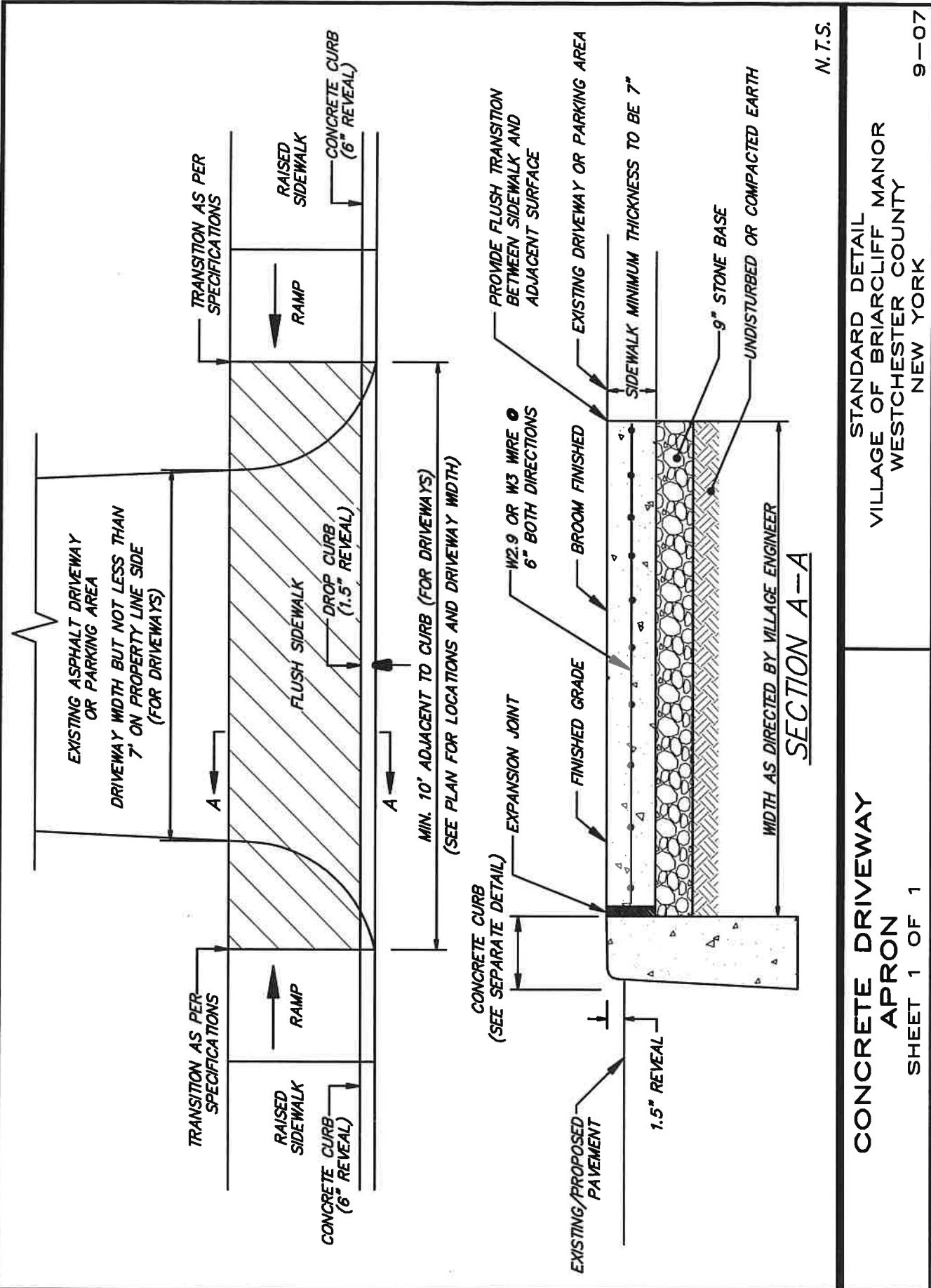
## **2. Sight Distance**

- All driveway applications shall be accompanied by the driveway sight distance requirement worksheet.
- The Village speed limit of 30 mph requires driveways to be located where a person exiting the driveway can see 290 feet in either direction.
- All trees, bushes, rocks and earthen embankments must be removed to achieve proper sight distance.
- No plantings, trees, fences, pillars or structures will be permitted which restrict the driveway exiting sight distance.

## **3. Construction**

- Driveway apron must have positive pitch to the roadway.
- Driveway must have a 2" minimum reveal at the road edge.
- 4 inches of Item #4 sub-base.
- 4 inches of top course asphalt.
- If road edge is damaged or uneven at the new driveway, then the roadway shall be sawcut 1 foot into the roadway and the top course asphalt replaced.
- **Belgium block aprons and curbing are permitted but are the responsibility of the homeowner, NOT THE VILLAGE, to maintain, repair or replace in perpetuity. (See Disclaimer)**



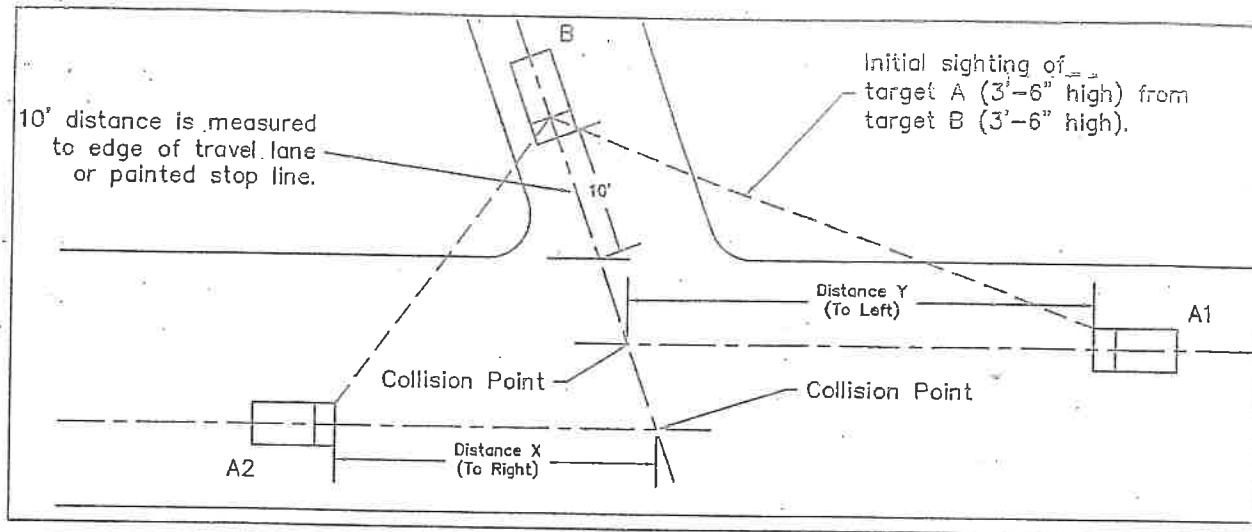


# Driveway Sight Distance Requirement

Permit #

Applicant:

Address:



## Minimum Acceptable Sight Distance

Design Speed (Mph)	Crossing Maneuver	Left Turn Maneuver	Right Turn Maneuver
	Sight Distance (ft.)	Sight Distance (ft.)	Sight Distance
	Left/Right	Left/Right	Left
25	240	280	240
30	290	335	290
35	335	390	335
40	385	445	385
45	430	500	430
50	480	555	480
55	530	610	530

Source: AASHTO (2001) A Policy on Geometric Design of Highways and Streets

Please provide the following information:

The speed limit on the main road at this point is: 30 mph

Distance X =                    ft.

Distance Y =                    ft.

**DRIVEWAY  
SIGHT DISTANCE**

STANDARD DETAIL  
VILLAGE OF BRIARCLIFF MANOR  
WESTCHESTER COUNTY  
NEW YORK



## BELGIUM BLOCK APRON/CURBING DISCLAIMER

Belgium block driveway aprons are permitted in the Village of Briarcliff Manor. However, they have different regulations as follows:

The Village is not responsible for the maintenance, damage or replacement of any Belgium block aprons. This includes any utility work, shoulder work, road work or snow plowing. Restoration following any of the above types of work will consist of asphalt only. Belgium blocks will not be reset.

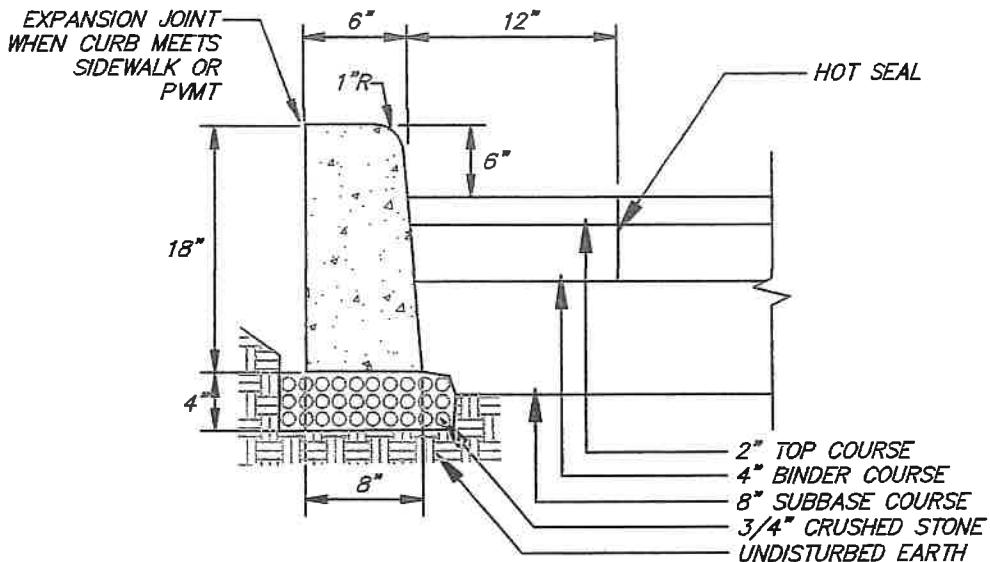
Therefore:

The homeowner is responsible to maintain, repair or replace the Belgium block apron and curbing in perpetuity.

DRIVEWAY  
BELGIUM BLOCK

STANDARD DETAIL  
VILLAGE OF BRIARCLIFF MANOR  
WESTCHESTER COUNTY  
NEW YORK





#### INSTALLATION NOTES:

1. THE CONTRACTOR SHALL PREVENT AGAINST ANY LOW SPOTS WHERE WATER CAN COLLECT BEHIND THE NEW CURB AND ANY POSSIBLE REDIRECTION OF STORMWATER ONTO PRIVATE PROPERTY. THE CONTRACTOR SHALL TAKE APPROPRIATE PREVENTIVE MEASURES (REGRADING, ADDITION OF FILL, ETC.) TO PREVENT SUCH CONDITIONS AND SHALL BE RESPONSIBLE TO CORRECT ANY HARMFUL PONDING CONDITIONS.
2. WHEN UNSUITABLE MATERIALS (SOFT, SPONGY, ORGANIC, ETC.) ARE FOUND AT THE PROPOSED SUBGRADE, THESE MATERIALS SHALL BE REMOVED AND REPLACED WITH WELL COMPAKTED SELECT MATERIAL AT THE DIRECTION OF THE ~~VILLAGE ENGINEER~~ SUPERINTENDENT OF PUBLIC WORKS.
3. AREAS WHICH HAVE LAWN OR LANDSCAPE BEHIND AN EXISTING CURB SHALL BE RETURNED TO THEIR ORIGINAL CONDITION PRIOR TO ACCEPTANCE OF THE CURBS. THIS WORK SHALL BE PERFORMED AT NO ADDITIONAL CHARGE TO THE VILLAGE.
4. CURB TO BE CONSTRUCTED WITH CLASS A CONCRETE (3000 PSI).
5. PROVIDE 1/2" EXPANSION JOINS IN CONCRETE CURB EVERY FIFTEEN FEET.
6. PROVIDE CONSTRUCTION JOINTS AT CURB DROPS.
7. PROVIDE TACK COAT AT SAW CUT PRIOR TO PLACING NEW ASPHALT.

9-07

N.T.S.

#### CONCRETE CURB

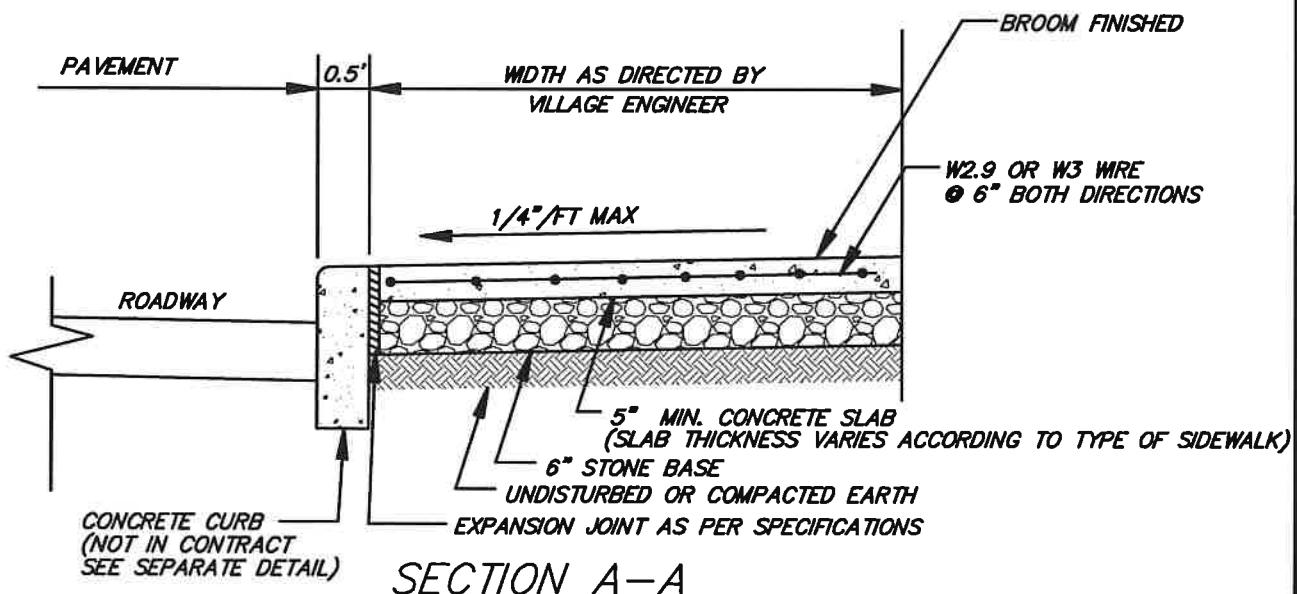
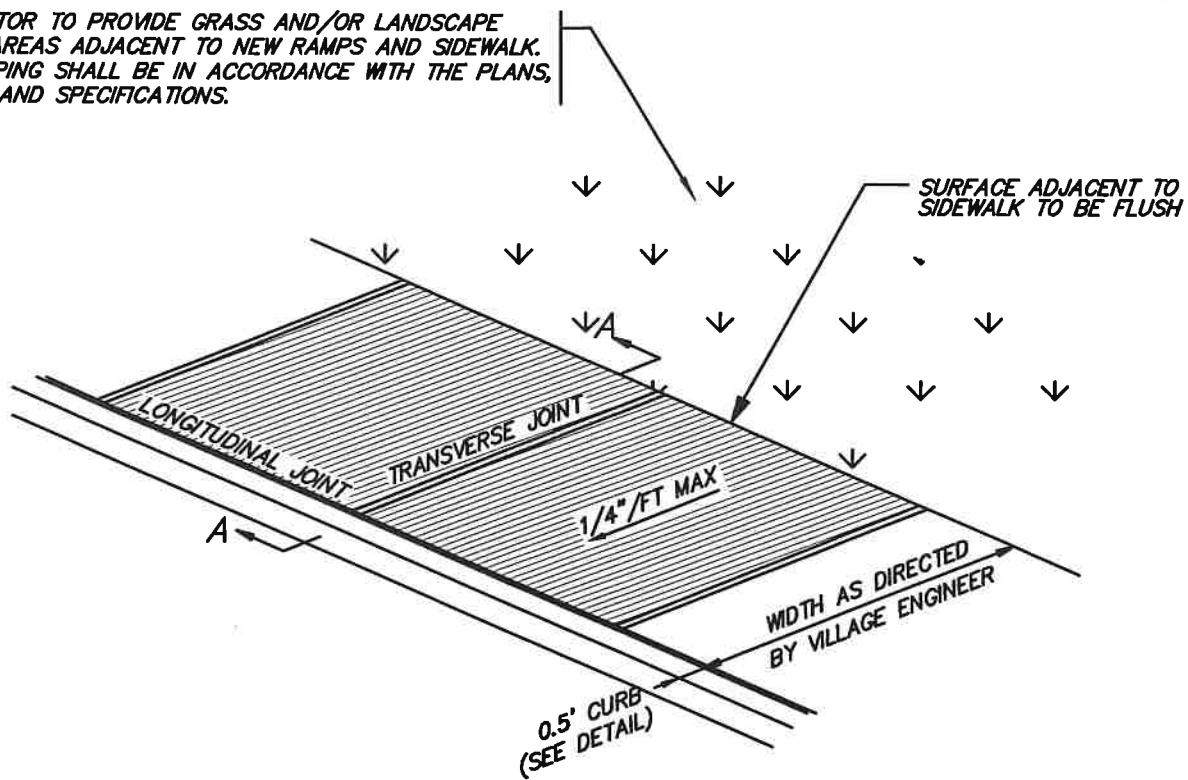
SHEET 1 OF 1

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STANDARD DETAIL  
VILLAGE OF BRIARCLIFF MANOR  
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NEW YORK



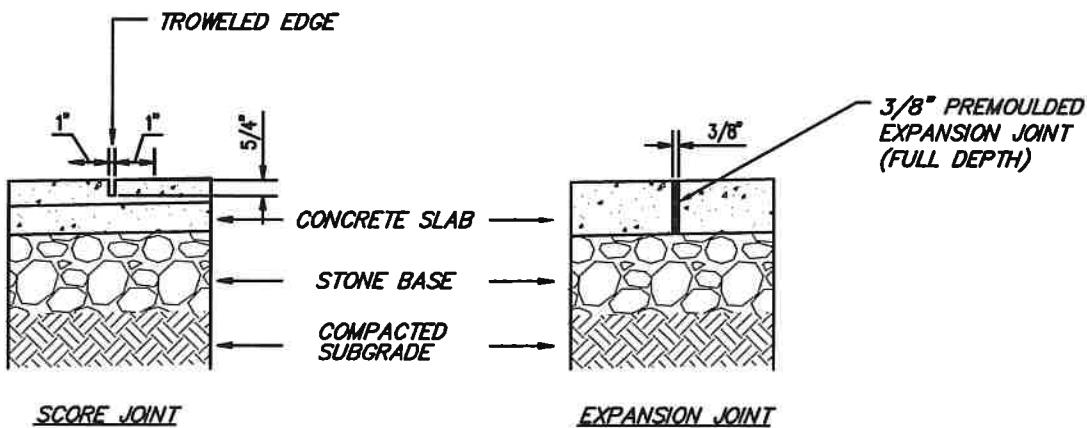
CONTRACTOR TO PROVIDE GRASS AND/OR LANDSCAPE ON ALL AREAS ADJACENT TO NEW RAMPS AND SIDEWALK. LANDSCAPING SHALL BE IN ACCORDANCE WITH THE PLANS, DETAILS, AND SPECIFICATIONS.



N.T.S.

NOTES:

1. CONTRACTOR SHALL COMPLY WITH REQUIREMENTS OF SECTION 501 NYS DOT STANDARD SPECIFICATIONS CODE FOR TRANSPORTING, AND PLACING OF PORTLAND CEMENT CONCRETE.
2. CONCRETE TO BE PLACED IN ONE COURSE TO THE FULL DEPTH.
3. PROVIDE CONCRETE CLASS "A" AS PER NYS DOT SECTION 501-2.
4. CURING OF CONCRETE SHALL CONFORM SECTION 502 NYS CODE.
5. SIDEWALK TO BE PLACED ON 6" THICK BASE OF COMPAKTED STONE.
6. SIDEWALK SLAB SHALL HAVE A MINIMUM THICKNESS OF 5".
7. WIRE FABRIC TO BE W2.9 OR W3 WIRE AT 6" CENTERS TRANSVERSELY AND LONGITUDINALLY, AND SHALL BE EMBEDDED TO MID-DEPTH IN THE SLAB.
8. LONGITUDINAL JOINTS TO BE PLACED TO FULL DEPTH OF SLAB BETWEEN SIDEWALK AND CURB.
9. TRANSVERSE EXPANSION JOINTS SHALL BE PLACED TO THE FULL DEPTH OF SLAB AND BE SPACED 20 TO 25 FEET APART. THE EDGES OF TRANSVERSE JOINTS TO BE FINISHED WITH AN EDGING TOOL HAVING A 1/4 INCH RADIUS.
10. ALL JOINTS SHALL BE PREMOLDED BITUMINOUS TYPE.
11. CONCRETE SURFACE TO BE SCORED AND TOOLED AT INTERVALS OF 5 FEET.
12. THE CONCRETE SHALL BE FINISHED TO PRODUCE A SMOOTH SURFACE, THEN LIGHTLY BROOMED TO A UNIFORM TEXTURE, AND SHOULD BE SLIP RESISTANT.
13. CONTRACTOR TO PREVENT AGAINST ANY LOW SPOTS WHERE WATER CAN COLLECT AND ANY POSSIBLE REDIRECTION OF STORMWATER
14. CONTRACTOR TO USE RESILIENT JOINT FILLER ACCORDING SECTION 705-07 NYS CODE AND INSTALL AT ALL JOINTS BETWEEN SIDEWALK, RAMPS, AND CURBS.



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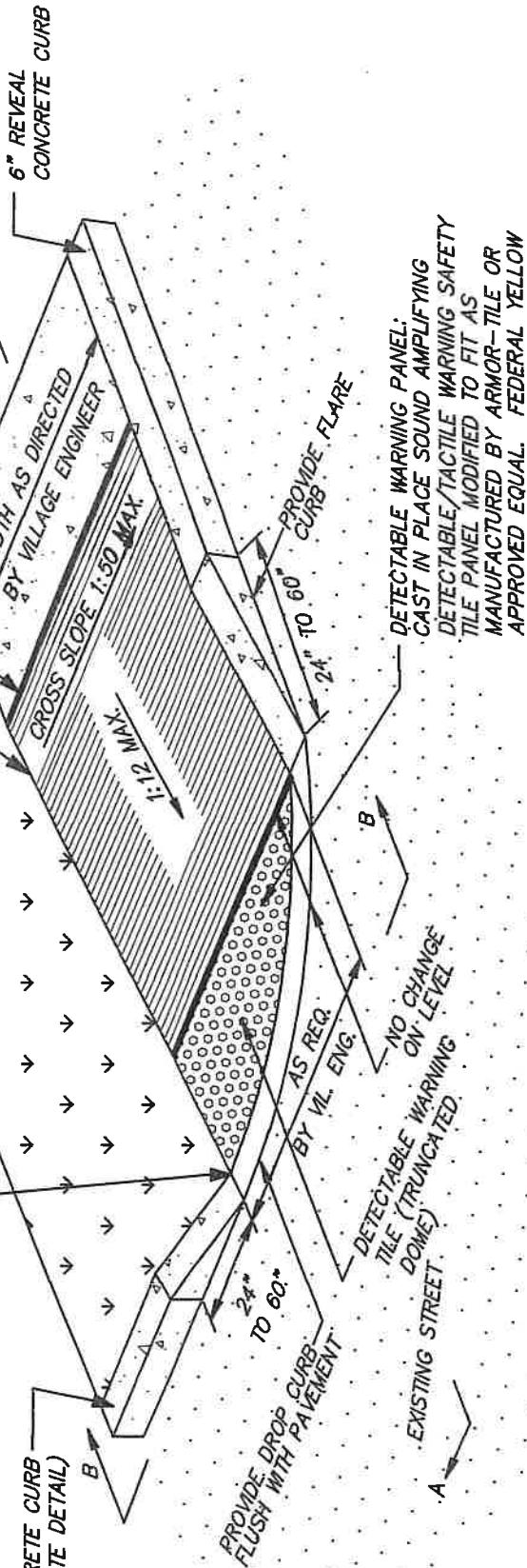
CONTRACTOR TO PROVIDE APPROPRIATE FINISHED GRADING, TOPSOIL, AND GRASS SEEDING FOR ALL DISTURBED AREAS, INCLUDING ADJACENT AREAS TO THE PROPOSED SIDEWALK AND RAMPS. LANDSCAPING WORK SHALL BE IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THERE SHALL BE NO ADDITIONAL PAYMENTS MADE FOR THE EXECUTION OF THIS WORK.

SURFACE ADJACENT TO SIDEWALK  
AND RAMP SHALL BE FLUSH

PROVIDE CURB FLUSH  
WITH LINE OF RAMP, DROP CURB  
IN FRONT OF RAMP NOT TO  
HAVE CHANGE OF LEVEL

CONCRETE CURB —  
(SEE SEPARATE DETAIL)

(SEE SEPARATE DETAIL)



RAMP CONSTRUCTION NOTES:

1. ALL RAMPS AND SIDEWALK SPECIFICATIONS TO BE IN ACCORDANCE WITH NYS BUILDING CODE, LOCAL CODES AND A.D.A. CODE REGULATIONS.
2. MAX SLOPE OF RAMPS NOT TO EXCEED 1:12 AND 1:50 CROSS SLOPE.
3. CONTRACTOR TO PROVIDE A STABLE, FIRM, SLIP RESISTANT SURFACE, FREE OF PONDING AND ICE CONCERNS.
4. IF A LANDING HAS TO BE INCORPORATED IN RAMPS THE MAXIMUM VERTICAL RISE BETWEEN A LANDING OR RESTING SPACE SHALL NOT BE GREATER THAN 30 INCHES.

**CONCRETE SIDEWALK RAMP  
WITH TACTILE WARNING**

SHEET 1 OF 2

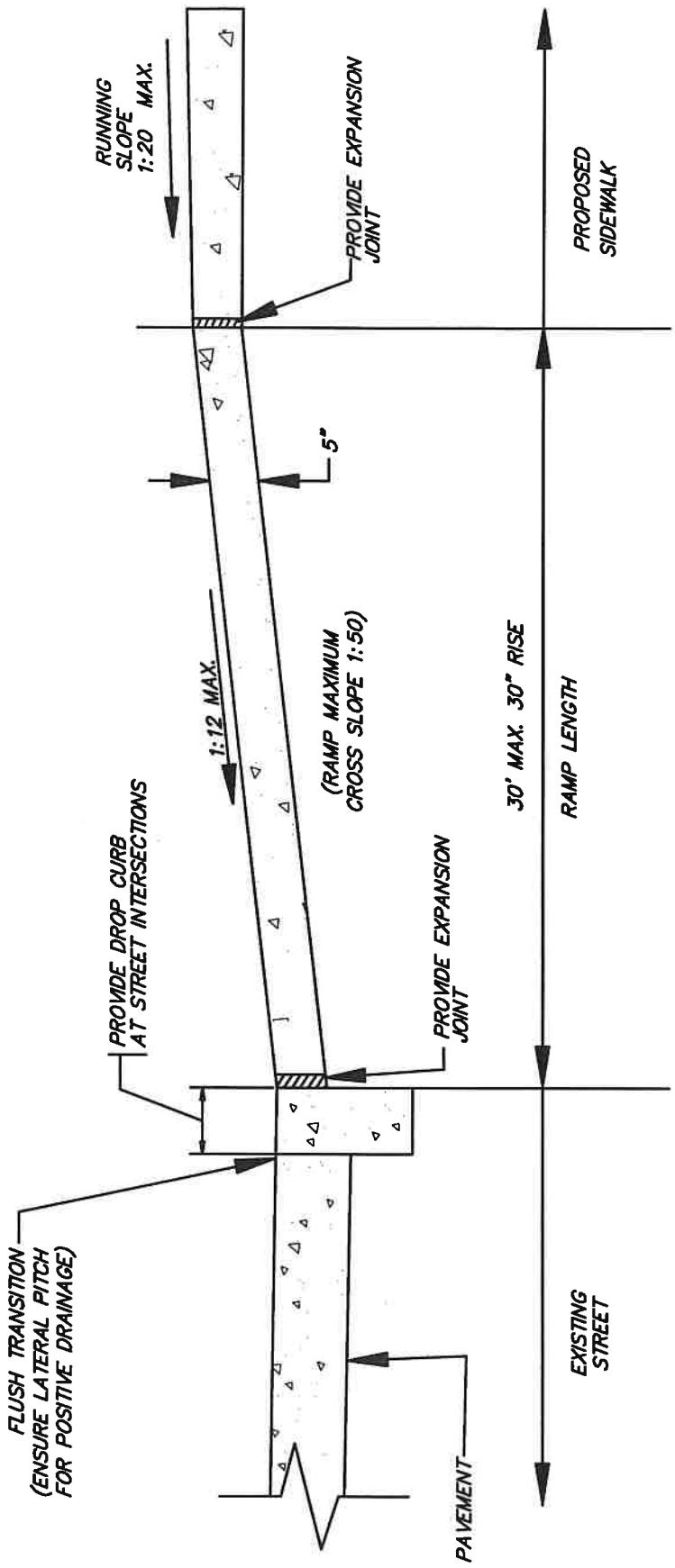
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9-07



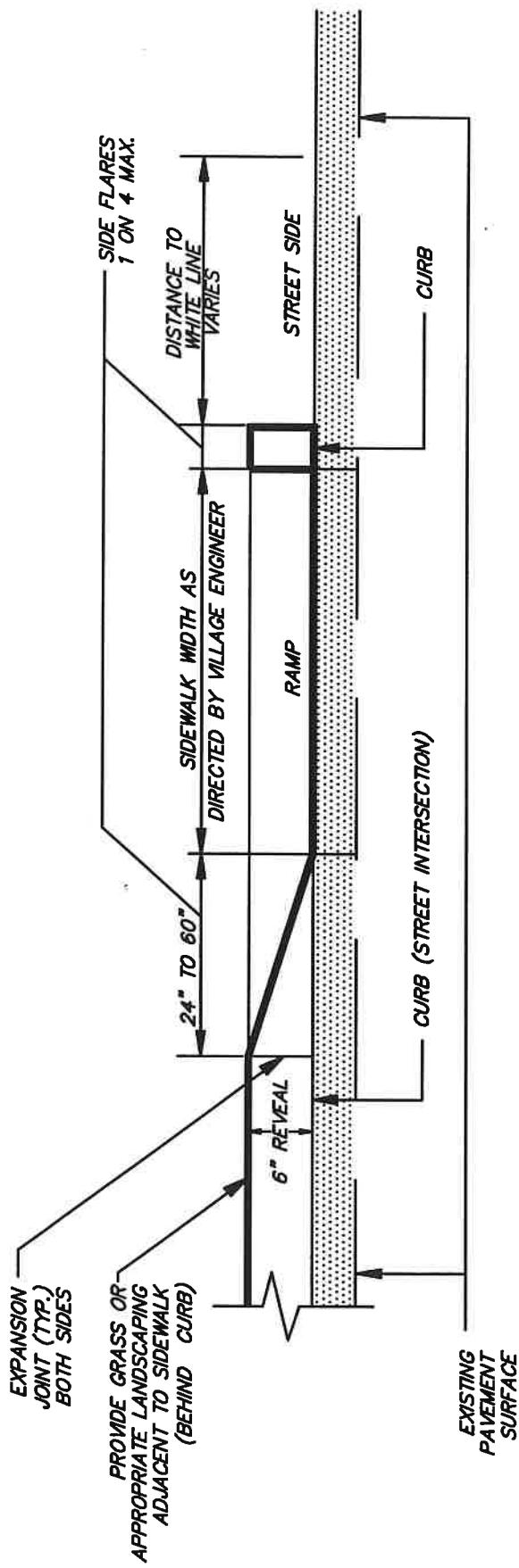


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STANDARD DETAIL  
VILLAGE OF BRIARCLIFF MANOR  
WESTCHESTER COUNTY  
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CONCRETE SIDEWALK  
RAMP  
SHEET 2 OF 3

9-07

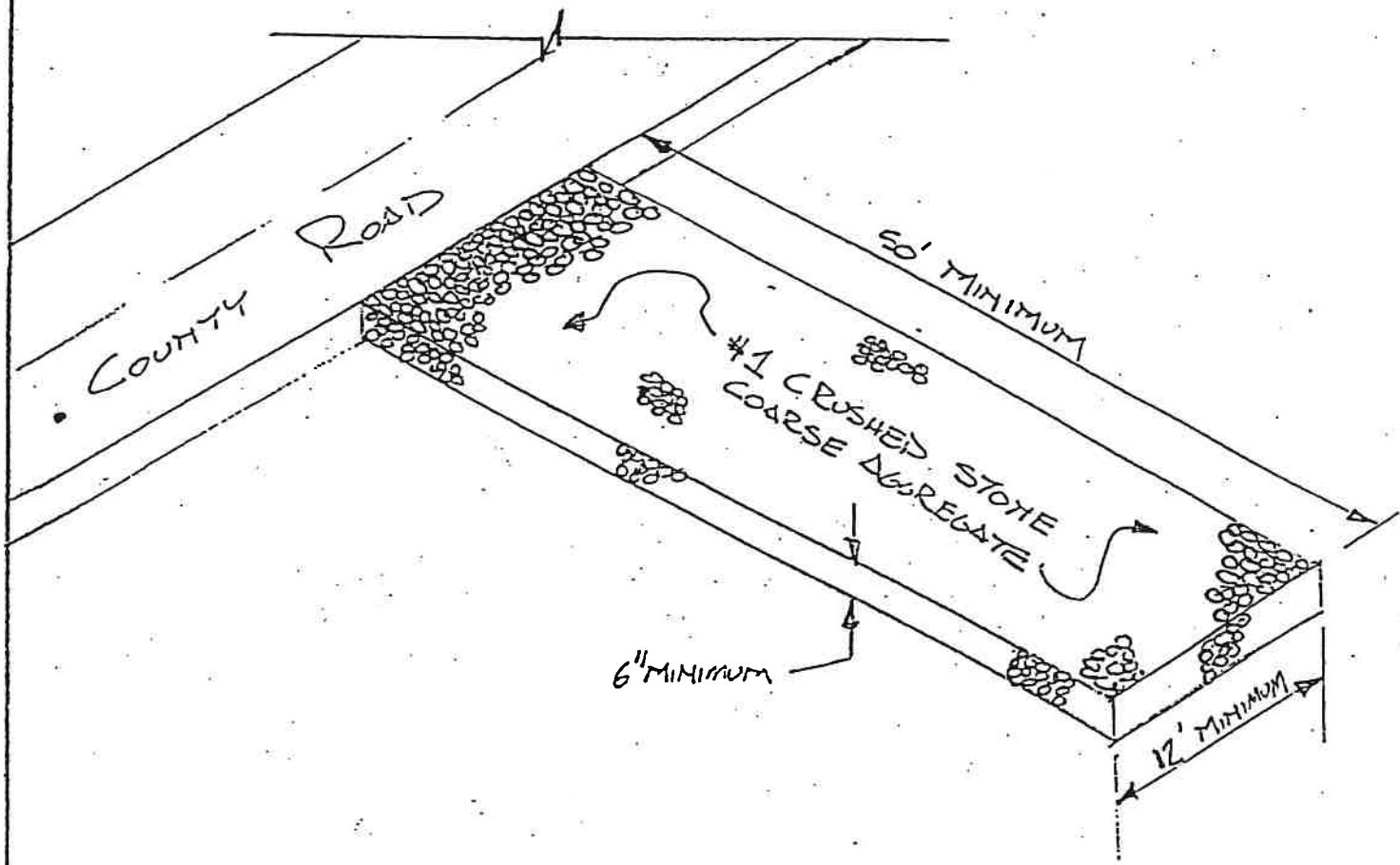


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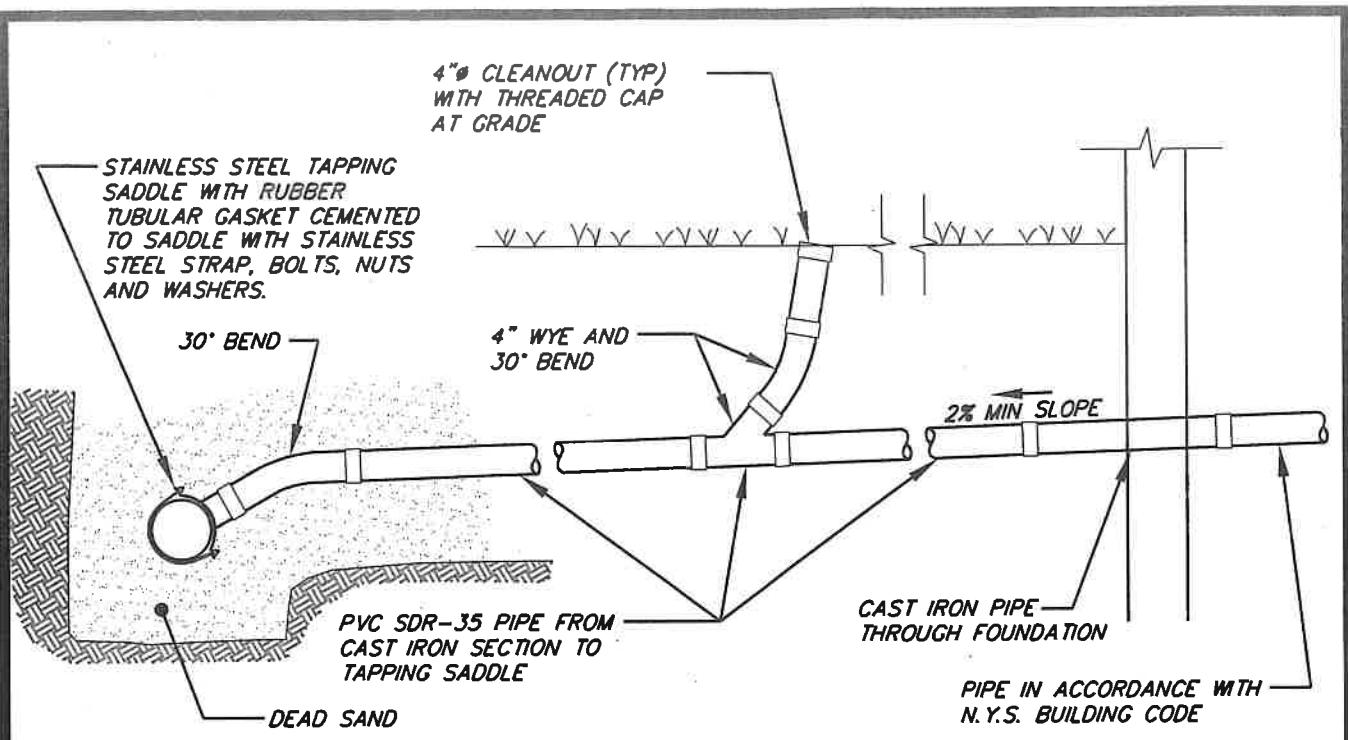
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VILLAGE OF BRIARCLIFF MANOR  
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NEW YORK

CONCRETE SIDEWALK  
RAMPS  
SHEET 3 OF 3

9-07



CONSTRUCTION      ENTRANCE



### GENERAL REQUIREMENTS

- 1) CONNECTIONS MUST BE MADE DIRECTLY INTO THE SEWER MAIN PIPE. CONNECTIONS TO SANITARY MANHOLES WILL ONLY BE ALLOWED IF NO OTHER OPTION EXISTS. UNDER NO CIRCUMSTANCE WILL DROP CONNECTIONS TO SEWER MANHOLES BE ALLOWED.
- 2) CLEANOUTS SHALL BE INSTALLED AT NO MORE THAN 75 FOOT INTERVALS AND AT THE PROPERTY LINE ON THE HOUSE SERVICE.
- 3) SEWER PIPE SHALL BE PVC SDR-35 PIPE FROM THE TAPPING SADDLE TO THE CAST IRON SECTION AT THE BUILDING FOUNDATION.
- 4) INTERIOR PIPING SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE BUILDING CODE.
- 5) VILLAGE CODE INDICATES THAT THE SANITARY SEWER CONNECTION FROM THE SEWER MAIN TO THE HOUSE IS THE RESPONSIBILITY OF THE HOMEOWNER TO MAINTAIN, REPLACE OR REPAIR IN PERPETUITY. (THIS INCLUDED ALL SEWER LOCATED BENEATH THE ROADWAY AND IN THE RIGHT OF WAY)

### CONSTRUCTION

- 1) PROVIDE A STAINLESS STEEL TAPPING SADDLE WITH ALL STAINLESS HARDWARE.
- 2) USE PVC SDR-35 PIPE FROM FOUNDATION TO SADDLE AT 2% MINIMUM POSITIVE SLOPE.
- 3) PROVIDE CLEANOUTS EVERY 75 FEET AND AT THE PROPERTY LINE.
- 4) PROVIDE DEAD SAND BACKFILL FOR ONE FOOT AROUND EXCAVATED PORTION OF SEWER MAIN AND FOR FULL LENGTH OF SERVICE.

